

4721/2024 I-08269/25 R. 4533/2024



पश्चिम बंगाल पश्चिम बंगाल WEST BENGAL

AM 280101

20029 63017/2024

Certified that this document is
admitted to Registration. The
signature of the
Endorser is attached to the
document as per the document.

Additional Registrar
Signature

22.11.24
19/08/25

Registered Development Power of Attorney

KNOW ALL MEN BY THESE PRESENTS that I, SRI
SOUMEN PAUL (PAN: AFWPP1255P, AADHAAR No.6978

21 OCT 2024

3536 Value 50/-

Date

Sold to

Address

Vendor Sign

Marmista Chatterjee Mukherjee
Govt. Lince Stamp Vendor
Sealdah Civil Court, Kot-14

Kachari para
Hebra, North 24 Parganas

743263



Identified By me:

Bishnu pada Saha,

S/O:- late R-G-Saha. 22 NOV 2024

Sealdah Court

Kot-14.

P.O + P.S - Entally

Occ:- Law Clerk

2493 1349, Mob. No.9733806560), son of Late Hirendra Kumar Paul, by faith - Hindu, by occupation - Business, by Nationality - Indian, residing at P.L. Medical Gali, Kachari Para Road, P.O. &, P.S. Habra, District - North 24 Parganas, West Bengal-743263, hereinafter called the EXECUTOR, do hereby send GREETINGS:

WHEREAS ALL THAT the piece and parcel of land measuring more or less 5 cottah 13 chittaks 7 sq. ft. with structure measuring more or less 150 sq. ft. at premises no. 32, Abinash Sashmal Lane, P.O. & P.S. Beliaghata, Kolkata-700010, District - South 24 Parganas, within the local limits of Kolkata Municipal Corporation under Ward No.34, Assessee No.110340200159, originally belonged to the executant herein.

The executant intended to develop the land of the said premises by construction of masonry building on the basis of sanctioned building plan already as obtained by the executant from the Kolkata Municipal Corporation in respect of the land of the



22 NOV 1924

aforesaid premises by observing and performing the procedure and provision of law as are laid down in the Kolkata Municipal Corporation Act, 1981 & Building Rules therein. The executant since has no his sufficient time as to raising of such masonry building, the executant has already entered into one registered development agreement on 22-11-2024 with M/S. S.P. ENTERPRISE, a Proprietorship Firm, represented by its Proprietor SRI ATANU GHOSH (PAN: AJOPG2410M, AADHAAR No.4376 3610 4935, Mob. No.9330116776), son of Sri Rabin Ghosh, by faith - Hindu, by occupation - Business, by Nationality - Indian, having its Office at premises no. D60, Canal South Road, Near Dakshini Kalibari, P.O. Dhapa, P.S. Pragati Maidan, Kolkata-700105, District - South 24 Parganas, and through the aforesaid Development Agreement has given right and authority to develop the land of the said premises by construction of a masonry building. The said development agreement was executed and registered on 22/11/24 and has been registered in the office at N.D.S.R. Sealdah and has been recorded in Book no. I, Vol no. 1606-2024, at pages -----, Being No. 4522, for the year 2024 and

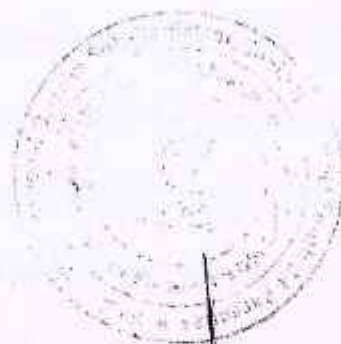
Soumen Paul
 for Ghosh



22 NOV 2024

in the said Development Agreement dt. 22/11/2024, authority has been conferred upon M/S. S.P. ENTERPRISE, represented by its Proprietor SRI ATANU GHOSH (PAN: AJOPG2410M, AADHAAR No.4376 3610 4935), son of Sri Rabin Ghosh, by faith - Hindu, by occupation - Business, by Nationality - Indian, having its Office at premises no. D60, Canal South Road, Near Dakshini Kalibari, P.O. Dhapa, P.S. Pragati Maidan, Kolkata-700105, District - South 24 Parganas, to develop the land of the said premises on the basis of sanctioned building plan obtained from K.M.C.

AND WHEREAS in the said development agreement, said M/s. S.P. ENTERPRISE has agreed to develop the land of the said premises on the basis of the sanctioned building plan of Kolkata Municipal Corporation. It has further more been agreed upon in the said development agreement that the executant shall be allotted 50% of floor area only in complete state in the proposed building i.e. entire ground floor, one self contained flat on the 2nd floor being Flat No.F, one self-contained flat on the 3rd floor



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being Flat No.E and another self-contained flat on the 3rd floor being Flat No.D and the rest portion of the constructed area i.e. 50% of the said proposed building shall be regarded to be the allotted portion of the developer i.e. entire 1st floor, two self contained flats on the 2nd floor being Flat No.D & E and another self-contained flat on the 3rd floor being Flat No.D shall be regarded to be the allotted portion of the developer excepting the allotted portion of the executant/owner. The executant herein since would not be available in Kolkata during the period of construction and completion of the said housing project and since the executant would not be available at the time when the developer will intend to dispose of his allotted portion to intending buyers and for doing other necessary jobs with respect to construction and completion of the said housing project, it is necessitated for the executant to appoint attorney in his name on his behalf for doing and performing all such acts, the executant through this power of attorney appoint, nominate and constitute, SRI ATANU GHOSH (PAN: AJOPG2410M, AADHAAR No.4376 3610 4935), son of Sri Rabin Ghosh, by faith - Hindu, by

occupation – Business, by Nationality – Indian, Proprietor of **M/S. S.P. ENTERPRISE**, having its Office at premises no. D60, Canal South Road, Near Dakshini Kalibari, P.O. Dhapa, P.S. Pragati Maidan, Kolkata-700105, District – South 24 Parganas, as his lawful attorney to do and perform all acts with respect to raising of construction of the said housing project on the said land of said premises and to take all sorts of decision to raise such construction on the said land and further to adopt all procedures for the purpose of construction and completion of the said proposed housing project on the said land and upon completion of the said housing project to take effective steps for alienating and / or disposing of the developer's allotted portion excepting the allotted portion of the executant. The executant therefore has executed and registered this power of attorney in favour of **SRI ATANU GHOSH**, as his lawfully constituted attorney in his names on his behalf to do, perform and act or caused to be done the following acts, deeds and things :-

1. To look after, manage, control and supervise the said property of the executant being Municipal premises no. 32,



NOV 1924

Abinash Sashmal Lane, P.O. & P.S. Beliaghata, Kolkata-700010, District – South 24 Parganas, within the local limits of Kolkata Municipal Corporation under Ward No.34, Assessee No. 110340200159.

2. To sign on all other application and documents as would be required to be submitted before the K.M.C. for obtaining sanction of additional building plan at the desire of the attorney on my behalf and thereby to start construction of such additional floor.
3. To represent me and appear before the authorities of the K.M.C. or any other authorities in connection with the proposed construction of the said property, on my behalf and further be entitled to adopt all affairs with regard to K.M.C. and other proceedings relating to my aforesaid house property.
4. To appear for, to execute, perform all acts in connection with the construction and completion of the aforesaid



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housing project and to do all necessary jobs and required activities for all purposes and represent me before the concerned Authorities or Govt. Departments as per their requirement on my behalf including the K.M.C. in respect of my said property.

5. To apply for and obtain permission from different Concerned Authorities including the K.M.C. and CESC for the purpose of lying water connection, Electricity, Drainage, Sewerage connection, drainage connection for beneficial enjoyment of the occupants of the proposed building and to provide other basic amenities for residential and other purposes in the aforesaid Premises and for the said purposes to sign, execute and submit all necessary applications, papers, plans and documents before concerned authorities and to do all acts, deeds, matters and things as the attorneys shall think proper.
6. To appoint on my behalf, pleader, Advocate or Solicitor, whenever my said Attorney shall think fit and proper to do



22 NOV 2008

so for the purposes of management of the said property and discharge and/or terminate his/her/their appointment.

6. To settle adjust, compound, mortgage, sell, compromise or submit all complaint actions, suits, accounts, plaints and disputes between us and other person or persons to compound compromise any dispute if arises during the construction of the land of the aforesaid property and to execute agreement or deed relating to the same.
7. From time to time to assign, execute, register, affirm and verify all or any petition application to the K.M.C. and to obtain water and drainage connection and to obtain plans and occupancy certificate, declarations, affidavits, indemnities and such other papers and documents as from time to time as will be necessary or required it relation to the said project in the land of the said premises as the said attorney shall think fit and proper.



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8. To appear for and represent me before all statutory body in the office of the Board or Revenue Collector, any Magistrate, Judge, and K.M.C, C.E.S.C Ltd., Government or any Non-Government or Semi-Government Authorities for permission to transfer in respect of developer's allocation and all other purposes relating to the said premises and also before any Magistrate and in all other department or office in connection with the said land/premises.
9. To give valid and effective receipts and discharge for all payments as may be received and/or realized by my said Attorney from any person or persons.
10. To enter into any agreement for sale with any intending purchaser/purchasers with respect to developer's allocation and to that effect receive earnest money from the intending purchaser or purchasers and the balance of the consideration money from the prospective buyers and to issue valid receipts and discharges for the same which will protect the purchaser

at that time, the following information was obtained from the
Department of the Interior, Bureau of Land Management, and the
Bureau of Reclamation, which are the agencies responsible for the
management of the public lands in the State of California. The
information was obtained from the files of the Department of the
Interior, Bureau of Land Management, and the Bureau of Reclamation,
and is being furnished to you for your information.

The following information was obtained from the files of the
Department of the Interior, Bureau of Land Management, and the
Bureau of Reclamation, and is being furnished to you for your
information.



2-2 MAY 1964

or purchasers in their safeguard for purchase of flats and to sign and execute and register the Deed of Conveyance in favour of the purchaser or purchasers on my behalf in respect of the allocation of the Developer and to present such deeds before proper Registration Office having jurisdiction and to have such deeds executed and registered in accordance with the provision of Indian Registration Act on my behalf.

11. That by virtue of this Development Power of Attorney my said appointed Attorney shall have the absolute right and liberty to sell its allotted portions under the aforesaid development agreement in respect of the aforesaid property at any price or consideration as my said ATTORNEY shall think fit and better.

12. To appoint Engineer/Engineers and/or Supervisors for preparation of such plans and/or for construction and completion of the said building at the cost and expenses of the Attorney.



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14. To apply for and acquire building materials such as cement, iron, steel, sand and bricks, etc. and to take delivery of the necessary permits for the same at the cost and expenses of the Attorney.
15. To appoint and discharge building constructor, masons, workers etc at the cost and expenses of the Attorney.
16. To install electric service line, meter and/or sub-meter and if necessary to obtain low/high tension electricity connection.
17. To sign, acknowledge all registered or insured letters notices, summons and/or money orders and to receive delivery of the same, which are the relation to work of the said premises.

AND WHEREAS my Attorney shall do all such acts, deeds, things and transaction and/or all such business for me as



22 NOV 2024

effectually as I could myself do and perform if I was personally present and I do hereby ratify and confirm whatsoever other acts my said attorney shall do or caused to be done lawfully by virtue of these presents and I hereby ratify and confirm and agree and to undertake to ratify and confirm all and whatsoever acts my said attorney appointed under this Power hereby granted shall lawfully do or caused to be done in the exercise of this right or by virtue of these presents.



22 NOV 2024

IN WITNESS WHEREOF, I have set and subscribed my hand and seal upon clear understanding of the contents, meaning and purport of this power on this the 22nd day of November, 2024.

SIGNED, SEALED AND DELIVERED

in the presence of :-

1. *Bishnu pada Saha*
Sealdah Col-14

Souran Paul
Signature of the EXECUTANT

I accept the power as has been given to me through this Power of Attorney.

2. *Swayan Bose*
3/12 R.R. G. Lane Kol-15.

Aravind Prash
Signature of the Attorney.

Drafted and prepared in my Office.
Sanjit Kumar

(Advocate)
Judges' Court, Alipore
Enrollment No WB 1165 of 1977



A.D.S.R. BANGALORE
22 NOV 2024



	Thumb	1 st finger	middle finger	ring finger	small finger
LEFT HAND					
RIGHT HAND					

NAME: SOUMEN PAUL

SIGNATURE Soumen Paul



	Thumb	1 st finger	middle finger	ring finger	small finger
LEFT HAND					
RIGHT HAND					

NAME: ATANU GHOSH

SIGNATURE Atanu Ghosh



	Thumb	1 st finger	middle finger	ring finger	small finger
LEFT HAND					
RIGHT HAND					

NAME:

SIGNATURE



A.D.S.R., SEALDAH
22 NOV 2024
Dist. Sealdah, 24.5.20, Sealdah

Major Information of the Deed

Deed No :	I-1606-03269/2025	Date of Registration	19/08/2025
Query No / Year	1606-8002963017/2024	Office where deed is registered	
Query Date:	22/11/2024 12:55:01 PM	A.D.S.R. SEALDAH, District: South 24-Parganas	
Applicant Name, Address & Other Details	Bishnupada Saha Sealdah Court, Thana : Entaly, District : South 24-Parganas, WEST BENGAL, PIN - 700014, Mobile No. : 9123392297, Status :Others		
Transaction	Additional Transaction		
[0138] Sale, Development Power of Attorney after Registered Development Agreement			
Set Forth value	Market Value		
	Rs. 2,33,33,885/-		
Stampduty Paid(SD)	Registration Fee Paid		
Rs. 50/- (Article:48(g))	Rs. 200/- (Article:E)		
Remarks	Development Power of Attorney after Registered Development Agreement of [Deed No/Year]:- 160603268/2025 Received Rs. 0/- (only) from the applicant for issuing the assement sllp.(Urban area)		

Land Details :

District: South 24-Parganas, P.S:- Beliaghata, Corporation: KOLKATA MUNICIPAL CORPORATION, Road: Abinash Sasmal Lane, , Premises No: 32, , Ward No: 034 Pin Code : 700010

Sch No	Plot Number	Khatian Number	Land Use Proposed ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
L1	(RS :-)		Bastu	5 Katha 13 Chatak 7 Sq Ft		2,32,88,885/-	Property is on Road
Grand Total :				9.6067Dec	0 /-	232,88,885 /-	

Structure Details :

Sch No	Structure Details	Area of Structure	Setforth Value (In Rs.)	Market value (In Rs.)	Other Details
S1	On I and L1	150 Sq Ft.	0/-	45,000/-	Structure Type: Structure
Gr. Floor, Area of floor : 150 Sq Ft.,Residential Use, Cemented Floor, Age of Structure: 0Year, Roof Type: Tiles Shed, Extent of Completion: Complete					
Total :		150 sq ft	0 /-	45,000 /-	

Principal Details :

Sl No	Name,Address,Photo,Finger print and Signature			
1	Name Soumen Paul Son of Late Hlrendra Kumar Paul Executed by: Self, Date of Execution: 22/11/2024 , Admitted by: Self, Date of Admission: 22/11/2024 ,Place : Office	Photo 	Finger Print  Captured	Signature 
	22/11/2024	LTI 22/11/2024	22/11/2024	
P L Medical Gali, City:- Habra, P.O:- Habra, P.S:-Habra, District:-North 24-Parganas, West Bengal, India, PIN:- 743263 Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: IndiaDate of Birth:XX-XX-1XX5 , PAN No.:: afxxxxxx5p, Aadhaar No: 69xxxxxxxx1349, Status :Individual, Executed by: Self, Date of Execution: 22/11/2024 , Admitted by: Self, Date of Admission: 22/11/2024 ,Place : Office				

Attorney Details :

Sl No	Name,Address,Photo,Finger print and Signature			
1	S P ENTERPRISE Canal South Rd, City:- , P.O:- Dhapa, P.S:-Tiljala, District:-South 24-Parganas, West Bengal, India, PIN:- 700105 Date of Incorporation:XX-XX-1XX8 , PAN No.:: AJxxxxxx0M,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative			

Representative Details :

Sl No	Name,Address,Photo,Finger print and Signature			
1	Name Mr Atanu Ghosh (Presentant) Son of Mr Rabin Ghosh Date of Execution - 22/11/2024 , , Admitted by: Self, Date of Admission: 22/11/2024, Place of Admission of Execution: Office	Photo 	Finger Print  Captured	Signature 
	Nov 22 2024 1:24PM	LTI 22/11/2024	22/11/2024	
Canal South Rd, City:- , P.O:- Dhapa, P.S:-Tiljala, District:-South 24-Parganas, West Bengal, India, PIN:- 700105, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, Date of Birth:XX-XX-1XX8 , PAN No.:: ajxxxxxx0m, Aadhaar No: 43xxxxxxxx4935 Status : Representative, Representative of : S P ENTERPRISE (as Proprietor)				

Identifier Details :

Name	Photo	Finger Print	Signature
Bishnupada Saha Son of Late R G Saha Sealdah Court, City:- Not Specified, P.O:- Entally, P.S:-Entaly, District:-South 24- Parganas, West Bengal, India, PIN:- 700014		 Captured	
	22/11/2024	22/11/2024	22/11/2024
Identifier Of Soumen Paul, Mr Atanu Ghosh			

Transfer of property for L1

Sl.No	From	To. with area (Name-Area)
1	Soumen Paul	S P ENTERPRISE-9.60667 Dec

Transfer of property for S1

Sl.No	From	To. with area (Name-Area)
1	Soumen Paul	S P ENTERPRISE-150.00000000 Sq Ft

Endorsement For Deed Number : I - 160603269 / 2025

On 22-11-2024

Presentation(Under Section 52 & Rule 22A(3) 46(1) W.B. Registration Rules, 1962)

Presented for registration at 13:16 hrs on 22-11-2024, at the Office of the A.D.S.R. SEALDAH by Mr Atanu Ghosh ,.

Certificate of Market Value(WB PUVI rules of 2001)

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs 2,33,33,885/-

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962)

Execution is admitted on 22/11/2024 by Soumen Paul, Son of Late Hirendra Kumar Paul, P L Medical Gali, P.O: Habra, Thana: Habra, , City/Town: HABRA, North 24-Parganas, WEST BENGAL, India, PIN - 743263, by caste Hindu, by Profession Business

Indetified by Bishnupada Saha, , , Son of Late R G Saha, Sealdah Court, P.O: Entally, Thana: Entaly, , South 24-Parganas, WEST BENGAL, India, PIN - 700014, by caste Hindu, by profession Law Clerk

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962) [Representative]

Execution is admitted on 22-11-2024 by Mr Atanu Ghosh, Proprietor, S P ENTERPRISE, Canal South Rd, City:- , P.O:- Dhapa, P.S:-Tiljala, District:-South 24-Parganas, West Bengal, India, PIN:- 700105

Indetified by Bishnupada Saha, , , Son of Late R G Saha, Sealdah Court, P.O: Entally, Thana: Entaly, , South 24-Parganas, WEST BENGAL, India, PIN - 700014, by caste Hindu, by profession Law Clerk

Payment of Fees

Certified that required Registration Fees payable for this document is Rs 7.00/- (E = Rs 7.00/-) and Registration Fees paid by , by Cash Rs 7.00/-

Payment of Stamp Duty

Certified that required Stamp Duty payable for this document is Rs. 50/- and Stamp Duty paid by , by Stamp Rs 50.00/-
Description of Stamp

1. Stamp: Type: Impressed, Serial no 3536, Amount: Rs.50.00/-, Date of Purchase: 21/11/2024, Vendor name: SHARMISTHA CHATTERJEE MUKHERJEE

Amitava Ghosal

**Amitava Ghosal
ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. SEALDAH
South 24-Parganas, West Bengal**

On 19-08-2025

Certificate of Admissibility(Rule 43,W.B. Registration Rules 1962)

Admissible under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number : 48 (g) of Indian Stamp Act 1899.

Payment of Fees

Certified that required Registration Fees payable for this document is Rs 7.00/- (E = Rs 7.00/-) and Registration Fees paid by , by Cash Rs 193.00/-

Amitava Ghosal

**Amitava Ghosal
ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. SEALDAH
South 24-Parganas, West Bengal**

Certificate of Registration under section 60 and Rule 69.

Registered in Book - I

Volume number 1606-2025, Page from 99772 to 99793
being No 160603269 for the year 2025.



Amitava Ghosal

Digitally signed by AMITAVA GHOSAL
Date: 2025.08.19 17:11:26 +05:30
Reason: Digital Signing of Deed.

(Amitava Ghosal) 19/08/2025
ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. SEALDAH
West Bengal.